
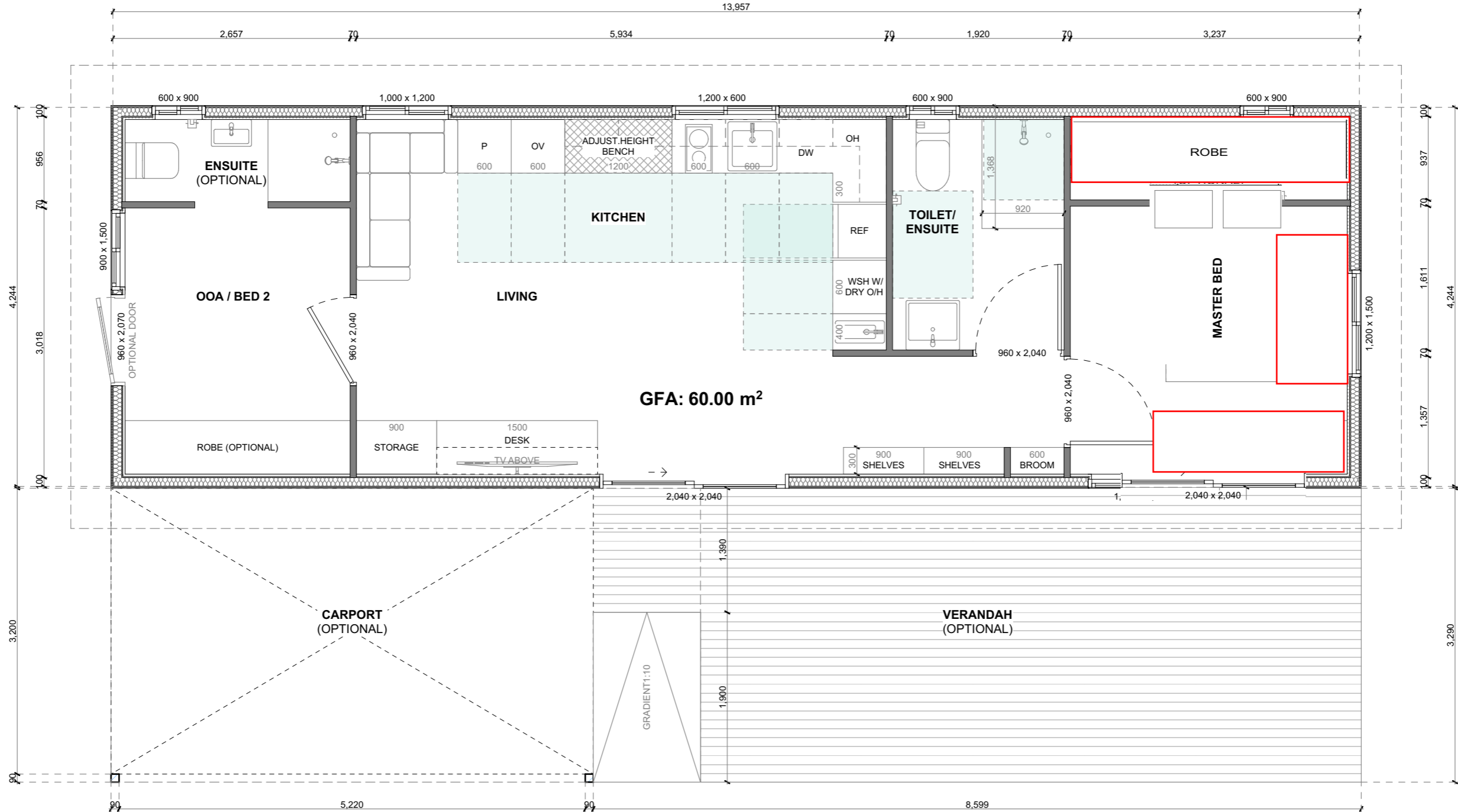


- GENERAL NOTES:**
1. WALL DIMENSIONS STATED IN THESE DRAWINGS RELATE TO THE BARE WALL SETOUT ONLY. CARE SHOULD BE TAKEN TO INCLUDE SUCH ALLOWANCES IN CALCULATING THE REQUIRED CLEARANCE FOR ANY FITTINGS THAT MAY BE INSTALLED.
 2. WRITTEN DIMENSIONS TAKE PREFERENCE OVER SCALED DRAWING MEASUREMENTS
 3. INTERNAL SIDE OF FULL SANITARY FACILITIES SHALL HAVE WALL REINFORCEMENT WHICH CONSISTS OF MIN. 12mm THK. SHEETING EXTENDING 2,100mm FROM THE FFL.

01 PROPOSED FLOOR PLAN (OPTION 01)
1:50

 <p>PROPERTY FRIENDS Eastern Innovation Business Centre 5A Hartnett Close, Mulgrave VIC 3170 info@propertyfriends.com.au (03) 9758 5331</p>	<p>PROJECT INFORMATION</p> <p>Client Name : Jane & John Doe Project Address : 00 Street Name Suburb QLD 0000 Block No. : 000 Section No. : 000 Project Code : 0001 Project Type : 1BR IL/R</p>	<p>Existing Dwelling GFA : 00.00m² Granny Flat GFA - Class 01 : 60.00m² Deck GFA - Class 10 : 23.82m² Combined Proposed Roof Area: 79.29m² Block Size : 00.00m² Site Coverage : 00.00m² Plot Ratio : 00.00% Attained Private Open Space : 00.00m² Required Private Open Space : 00.00m²</p>	<p>CLIENT APPROVAL</p> <p>NAME & SIGNATURE</p> <p>DATE</p>	<p>REV. ID SK1.00</p>	<p>DATE ISSUED 12-01-2026</p>	<p>SHEET TITLE FLOOR PLAN (Option 01)</p> <p>1:50 SCALE A3 SHEET SIZE H.E. DRAFTER</p>	<p>SHEET NO. SK.01 1 of 4</p>
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01
SK.04




02
SK.03

02
SK.04

01
SK.03

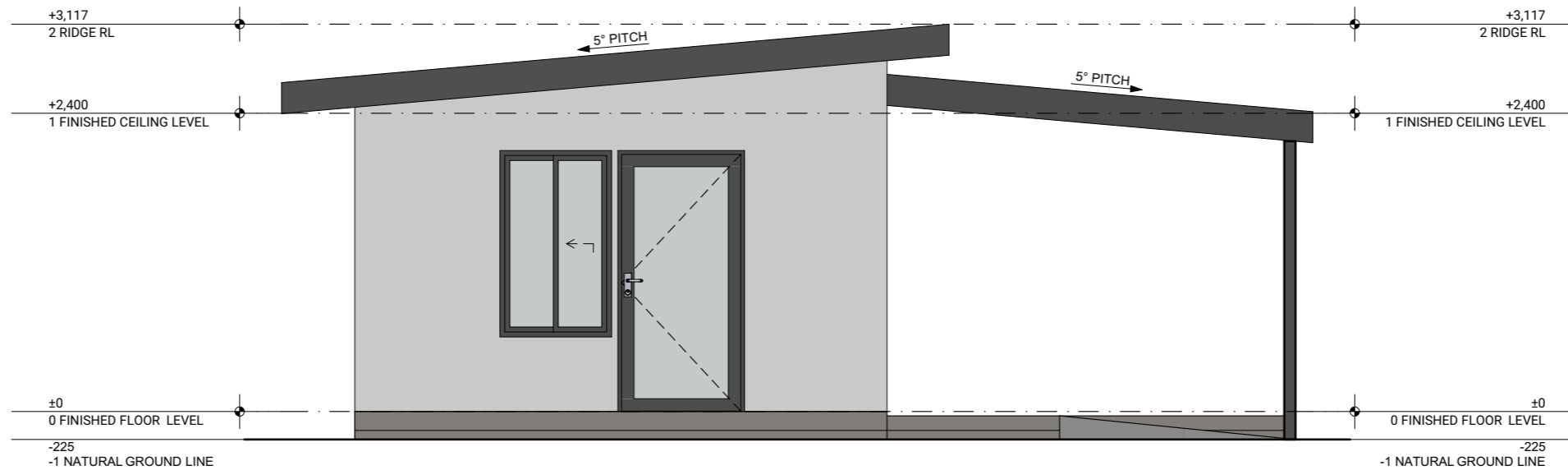
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01 **PROPOSED FLOOR PLAN (OPTION 02)**
1:50

 <p>PROPERTY FRIENDS Eastern Innovation Business Centre 5A Hartnett Close, Mulgrave VIC 3170 info@propertyfriends.com.au (03) 9758 5331</p>	<p>PROJECT INFORMATION</p> <p>Client Name : Jane & John Doe Project Address : 00 Street Name Suburb QLD 0000 Block No. : 000 Section No. : 000 Project Code : 0001 Project Type : 1BR IL/R</p>	<p>Existing Dwelling GFA : 00.00m² Granny Flat GFA - Class 01 : 60.00m² Deck GFA - Class 10 : 23.82m² Combined Proposed Roof Area: 79.29m² Block Size : 00.00m² Site Coverage : 00.00m² Plot Ratio : 00.00% Attained Private Open Space : 00.00m² Required Private Open Space : 00.00m²</p>	<p>CLIENT APPROVAL</p> <p>NAME & SIGNATURE</p> <p>DATE</p>	<p>REV. ID SK1.00</p>	<p>DATE ISSUED 12-01-2026</p>	<p>SHEET TITLE FLOOR PLAN (Option 02)</p> <p>1:50 SCALE A3 SHEET SIZE H.E. DRAFTER</p>	<p>SHEET NO. SK.02 2 of 4</p>
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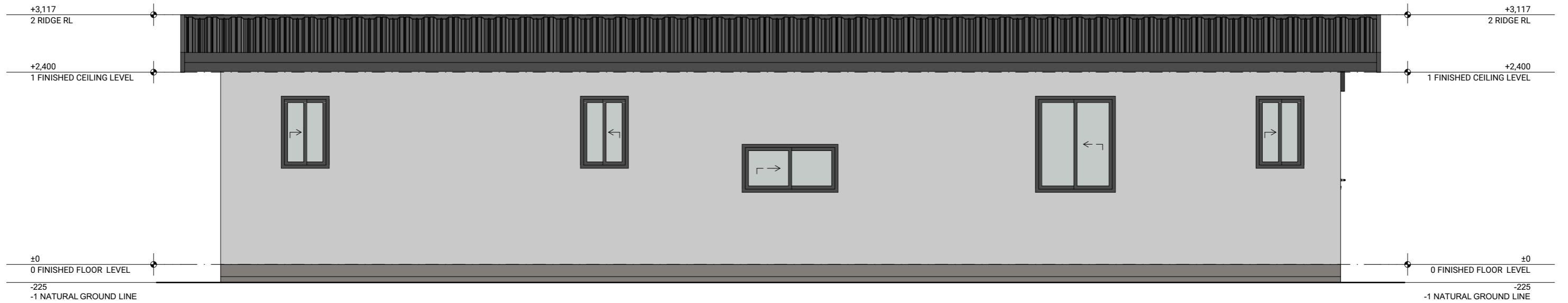
01 SOUTH ELEVATION
1:50



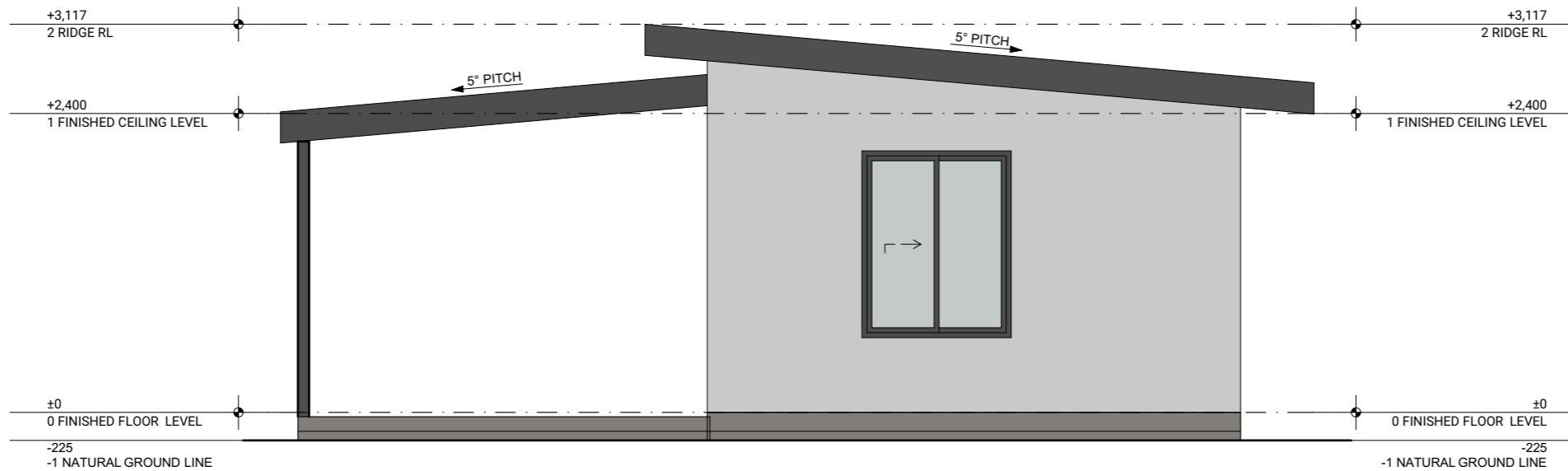
02 WEST ELEVATION
1:50

- GENERAL NOTES:**
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 3. INTERNAL SIDE OF FULL SANITARY FACILITIES SHALL HAVE WALL REINFORCEMENT WHICH CONSISTS OF MIN. 12mm THK. SHEETING EXTENDING 2,100mm FROM THE FFL.

 <p>PROPERTY FRIENDS Eastern Innovation Business Centre 5A Hartnett Close, Mulgrave VIC 3170 info@propertyfriends.com.au (03) 9758 5331</p>	<p>PROJECT INFORMATION</p> <p>Client Name : Jane & John Doe Project Address : 00 Street Name Suburb QLD 0000 Block No. : 000 Section No. : 000 Project Code : 0001 Project Type : 1BR IL/R</p>	<p>Existing Dwelling GFA : 00.00m² Granny Flat GFA - Class 01 : 60.00m² Deck GFA - Class 10 : 23.82m² Combined Proposed Roof Area: 79.29m² Block Size : 00.00m² Site Coverage : 00.00m² Plot Ratio : 00.00% Attained Private Open Space : 00.00m² Required Private Open Space : 00.00m²</p>	<p>CLIENT APPROVAL</p> <p>NAME & SIGNATURE</p> <p>DATE</p>	<p>REV. ID SK1.00</p>	<p>DATE ISSUED 12-01-2026</p>	<p>SHEET TITLE ELEVATIONS 01</p> <p>1:50 SCALE A3 SHEET SIZE DRAFTER</p>	<p>SHEET NO. SK.03 3 of 4</p>
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01 NORTH ELEVATION
1:50



02 EAST ELEVATION
1:50

- GENERAL NOTES:**
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 <p>PROPERTY FRIENDS Eastern Innovation Business Centre 5A Hartnett Close, Mulgrave VIC 3170 info@propertyfriends.com.au (03) 9758 5331</p>	<p>PROJECT INFORMATION</p> <p>Client Name : Jane & John Doe Project Address : 00 Street Name Suburb QLD 0000 Block No. : 000 Section No. : 000 Project Code : 0001 Project Type : 1BR IL/R</p>	<p>Existing Dwelling GFA : 00.00m² Granny Flat GFA - Class 01 : 60.00m² Deck GFA - Class 10 : 23.82m² Combined Proposed Roof Area: 79.29m² Block Size : 00.00m² Site Coverage : 00.00m² Plot Ratio : 00.00% Attained Private Open Space : 00.00m² Required Private Open Space : 00.00m²</p>	<p>CLIENT APPROVAL</p> <p>NAME & SIGNATURE</p> <p>DATE</p>	<p>REV. ID SK1.00</p>	<p>DATE ISSUED 12-01-2026</p>	<p>SHEET TITLE ELEVATIONS 02</p> <p>1:50 SCALE A3 SHEET SIZE DRAFTER</p>	<p>SHEET NO. SK.04 4 of 4</p>
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